

CPTED - GUIDELINES

These Guidelines should be used by applicants, architects, planners and developers of property within the City of Tempe to assist them in obtaining approved plans for development pursuant to Article II, Chapter 11 of the Tempe City Code relating to Crime Prevention Through Environmental Design. These Guidelines should be used in conjunction with the associated relevant sections of Article II, Chapter 11 and Zoning Ordinance No. 808.

Copies of these Guidelines and any amendments thereto will be available to the public at the Development Services Department or the Police Department of the City of Tempe.

Guidelines approved this ____ day of _____, 1997, by the Tempe City Council.

Art. I. GENERAL CONCEPTS OF CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN

A. Crime Prevention Through Environmental Design ("CPTED") is the proper design and effective use of the built environment in order to lead to a reduction in the fear and incidence of crime, and an improvement in the quality of life.

B. CPTED involves the design of a physical space so that it enhances the needs of bona fide users of the space. This emphasis on design and use deviates from the traditional "target hardening" approach to crime prevention.

C. Owners, managers and community users have a joint responsibility by reporting to the police all suspicious activities and criminal occurrences; without this, the effectiveness of CPTED is minimized. Creating and maintaining partnerships with the community and the City of Tempe will aid in improvement of quality of life issues and make for a safer environment and a more productive community.

D. For CPTED to be successful, it must be understandable and practicable for the normal users of the space. The normal users know more about what is going on in the environment and they have a vested interest (their own well-being) in ensuring that their immediate environment operates properly. The "Three-D" approach to space assessment provides a simple guide for the normal users in determining the appropriateness of how their space is designed and used. The Three-D concept is based on the three functions or dimensions of human space:

1. All human space has some designated purpose.
2. All human space has social, cultural, legal or physical definitions that prescribe the desired and acceptable behaviors.
3. All human space is designed to support and encourage the desired behaviors.

E. CPTED is supported by the following five overlapping principles that are applied to specific sites and situations.

1. Territoriality

Territoriality is a concept that clearly delineates private space from semi-public and public spaces, and creates a sense of ownership. Ownership thereby creates an environment where appearance of such strangers and intruders stand out and are more easily identified through:

- a. The enhanced feeling of legitimate ownership by reinforcing existing natural surveillance and natural access control strategies with additional symbolic or social ones.
- b. The design of space to allow for its continued use and intended purpose.

c. The use of pavement treatments, landscaping, art, signage, screening and fences define and outline ownership of space.

2. Natural Surveillance

Natural surveillance is a design concept directed primarily at keeping intruders under observation. Provision of natural surveillance helps to create environments where there is plenty of opportunity for people engaged in their normal behavior to observe the space around them. Areas can be designed so they are more easily observed through:

a. Design and placement of physical features to maximize visibility. This will include building orientation, windows, entrances and exists, parking lots, refuse containers, walkways, guard gates, landscape trees and shrubs, use of wrought iron fences or walls, signage and other physical obstructions.

b. Placement of persons or activities to maximize surveillance possibilities.

c. Minimum maintained lighting standards that provide for nighttime illumination of parking lots, walkways, entrances, exits and related areas to promote a safe environment.

3. Access Control

Access control is a design concept directed primarily at decreasing criminal accessibility. Provision of natural access control limits access and increases natural surveillance to restrict criminal intrusion, especially into areas where they will not be easily observed. When present, intruders are more readily recognized through:

a. The use of sidewalks, pavement, gates, lighting and landscaping to clearly guide the public to and from entrances and exists.

b. The use of gates, fences, walls, landscaping and lighting to prevent or discourage public access to or from dark or unmonitored areas.

4. Activity Support

Activity support is the presence of activity planned for the space. Activity support involves placing activity where the individuals engaged in an activity will become part of the natural surveillance system. Examples include:

a. Place safe activities in areas that will discourage would be offenders, to increase the natural surveillance of these activities and the perception of safety for normal users, and the perception of risk for offenders.

b. Place high risk activities in safer locations to overcome the vulnerability of these activities by using natural surveillance and access control of the safe area.

c. Locate gathering areas in locations that provide for natural surveillance and access control or in locations away from the view of would-be offenders.

d. Improve the scheduling of space to allow for effective use and appropriate intensity of accepted behaviors.

5. Maintenance

Proper maintenance of landscaping, lighting treatment and other features can facilitate the principles of CPTED, territorial reinforcement, natural surveillance and natural access control. Functions include:

a. Proper maintenance of lighting fixtures to prescribed standards.

b. Landscaping which is maintained at prescribed standards.

c. Minimizing the conflicts between surveillance and landscaping as the ground cover, shrubs and trees mature.

F. Recognition of these underlying concepts may help guide owners, architects, planners and developers of property in designing built environments that accomplish the goals of CPTED as outlined in these Guidelines.

Art. II. ALTERNATIVE MATERIALS AND METHODS OF CONSTRUCTION

These Guidelines are not intended to prevent the use of any material, device, hardware or method not specifically prescribed when such alternative provides for equivalent security and is approved by the Development Services Department. The Director of the Development Services Department, in conjunction with the Chief of Police, may make written modifications to these Guidelines as appropriate.

Art. III. DEFINITIONS

Barrier plant means a plant that consists of dense structure and foliage that is thorny or has needles.

CPTED means Crime Prevention Through Environmental Design.

CPTED section refers to the section of the Tempe Police Department within the City of Tempe's Development Services Department that is responsible for reviewing and approving all plans submitted pursuant to Article II, Chapter 11 of the Tempe City Code.

Dwelling means an enclosed space providing complete, independent living facilities for a family including permanent provisions for living, sleeping, eating, cooking and sanitation, including single and multifamily dwellings.

Footcandle (abbreviated "FC") means a measure of light striking a surface one square foot in area on which one unit of light (lumen) is uniformly distributed.

Identification Sign means a sign that includes as copy only the name of the business, place, organization, building or person it identifies.

Landscaping or Landscaping materials means any tree, shrub, ground cover, vine or other organic and inorganic materials, or combination of any of these elements, placed on a site or exterior of a building to enhance appearance. Public art, water features, plazas, patios, decorative courtyards and lighting may also be considered landscape elements.

Luminaire means a complete lighting unit that consists of one or more lamps and ballast, if needed, together with other parts designed to distribute light, position and protect lamps, and connect the lamps to the power source.

Non-residential means any uses or occupancies which are not residential as defined in this section.

Residential means uses or occupancies upon which one or more dwellings are located.

Shrub means a woody plant having more than one stem, each less than two (2) inches in diameter, a height of less than ten (10) feet, and an undefined crown.

Transitional lighting means gradual increase or decrease or footcandles of light going from one activity to another, minimizing glare or intrusive light.

Tree means a woody plant which, at maturity, has one well-defined trunk at least two (2) inches in diameter, a height of at least ten (10) feet, and a formed crown of foliage.

Two family dwellings means a building designed exclusively for occupancy as two dwellings on an individual lot.

Walkway means any area that is intended for use by pedestrians, including, but not limited to, sidewalks.

Zoning Ordinance refers to Ordinance No. 808 of the City of Tempe.

Art. IV. GUIDELINES

GUIDELINES FOR SECTION 11-20(a)(1) INTERIOR SPACES

Interior design is an important element in minimizing risk and opportunities for crime. The design features that will be reviewed are the main entry and lobby areas, location of receptionist areas in relation to windows and points of access control, adjacent offices that would promote surveillance into the main entry and lobby areas, location of stairwells, hallways, elevators, rest rooms, pay phones and drinking fountains, patio or break areas, type of glazing, use of electronic monitoring devices and general floor plans. The recommended design considerations and examples are for voluntary use by developers, architects, and planners.

GUIDELINES FOR SECTION 11-20(a)(2) LIGHTING

1. Purpose

The intent of Section 11-20(a)(2) is to establish lighting levels for various typical uses to promote visual surveillance, reduce the potential for criminal activity, and meet energy constraints.

2. Lighting Configuration; Timing

(a) The height and configuration of building-mounted and freestanding light fixtures are described in Section 5, Part III of the Zoning Ordinance and Article VIII of Chapter 25 of the Tempe City Code relating to outdoor light control. Trees and shrubs should not interfere with the distribution of lighting required by CPTED.

(b) Transitional lighting should be incorporated in exterior areas going to and from the building(s) or use(s) within the site. Transitional lighting should be provided for: recreation/office building, swimming pools, laundry and mail rooms, ramadas, covered breezeways, and similar areas identified by the CPTED section.

(c) All exterior lighting should be directed downward and away from adjoining property, with luminaries shielded to prevent unnecessary glare, per Article VIII, Chapter 25 of the Tempe City Code.

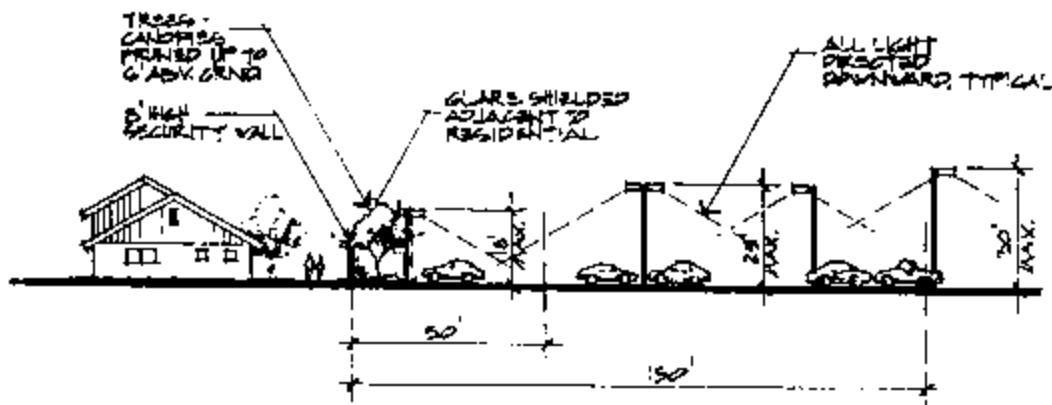
(d) All exterior fixtures should be illuminated from dusk until dawn, unless otherwise designated.

(e) Details of exterior lighting should be provided on a landscape site plan drawn on twenty-four (24) inch by thirty-six (36) inch format prepared to scale. Photometric calculations should be detailed on an exterior lighting plan unless waived by the CPTED section. Photometric calculations should be based on the "mean" light output per the manufacturer's values of the specified lamp and luminaire photometry data formatted on Illumination Engineering Society (I.E.S.) file compiled by an approved testing laboratory. The details provided for exterior lighting should include point-to-point photometric calculations at intervals of not more than ten (10) feet, at ground level, and may also be required at six (6) feet above ground level, depending on the applicable risk factors.

(f) Any exterior lighting device (luminaire) designed for security lighting should be protected by weather and vandal-resistant covering, a managed light source, directed down, to minimize glare and intrusiveness.

Illustrations:

The following illustration demonstrates how security lighting may be configured to shield adjoining property from unnecessary glare and conform to the outdoor light control provisions in Article VIII of Chapter 25 of the Tempe City Code, and Section 5, Part III of the Zoning ordinance.



Note: Lighting in multi-level parking structures need to be evaluated on a case-by-case basis to minimize unnecessary glare to adjacent or nearby residential areas.

3. Minimum Illumination Guidelines

All minimum illumination guidelines listed in this section should be maintained from ground level to a height of six (6) feet. The minimum-to maximum uniformity ratio may range up to 6:1 in acceptable layouts.

The lighting levels specified are the minimum levels that are typically acceptable to meet the requirements of Section 11-20(a)(2). In some circumstances, customer convenience, closed-circuit surveillance, and customer attraction may require a higher level of lighting. In addition, demographics, the crime index and other factors particular to a certain geographic area may require a higher level of lighting than listed below.

Applicants designing exterior lighting are encouraged to verify with the CPTED section of the Development Services Department the minimum level of lighting required.

High Risk Activity 4-5 FC

- ATM
- Cluster Mail Boxes (minimum of 20' radius from edge of mail box)
- Pay Phones
- Gated Communities Entries
- Pedestrian Tunnels and Covered Pedestrian Walkways (breezeways)
- Bus/Transit Shelters
- All exterior entrances (typically 5 FC of light will be the recommended minimum standard with a radius of 15' from the center of each door. However, each entrance will be assessed based upon use and risk)

Medium High Risk Activity 3-4 FC

- Convenience Stores
- Covered Parking (carports)
- Fast Food
- Pharmacies
- Pool Halls
- Loading Docks/Areas
- Grocery Stores (24 hour, immediate parking area)
- Establishments Licensed for the Sale of Liquor
- Parking Structures (10 FC daytime)(parking garages, multilevel)

Medium Risk Activity 2-3 FC

- Gas Stations (not convenience stores)
- Entertainment/Amusement
- Video Stores
- Laundries
- Banks
- Restaurants (no liquor)
- Hotels/Motels
- Video Halls
- Card/Telemarketing
- Malls

Medium Low Risk Activity 1-2 FC

- Multi-Housing
- Health Care
- Industrial (night use)
- Preschools
- Worship
- Hospital
- General Retail
 - Dental
 - Warehouse (night use)
 - Educational
 - Storage
 - General office (night use)
 - Grocery stores (non 24 hours)

Low Risk Activity .50-1

- Warehouse (day use)
- Office (day use only)
- Greenbelt
- Car Dealers (after hours)
- Parks
- Industrial (day use)
- Mini-storage
- Retention areas
- Walkways in Apartment Complexes

GUIDELINES FOR SECTION 11-20(a)(3) LANDSCAPING

1. Purpose

By describing the type and height of plants allowed in relation to their distance from walkways, windows, and certain other areas, the capacity for visual surveillance by, and comfort for, users and residents is increased, thereby reducing the potential for criminal activity. By listing and recommending a broad palette of plant

materials, creativity in landscape design is encouraged. A list of recommended plants, trees and shrubs is provided at the end of this section.

2. Groundcover plants

(a) Location

Groundcover plants, including perennial and annual wildflowers, should be used within six (6) feet of the edge of walkways and areas requiring visual surveillance; and within twelve (12) feet of the edge of walkways and areas where children are regular users. The use of trees, pruned up to six (6) feet above ground, may also be used in such areas to provide shade for pedestrians.

(b) Height

The height of groundcover plants should not exceed two (2) feet at maturity. Desert plants with thin stalks over two (2) feet high that still allow for visual surveillance may be used in these areas.

3. Shrubs

(a) Location

In combination with groundcovers and trees pruned up to six (6) feet above ground, shrubs should be used between six (6) and twelve (12) feet from the edge of walkways requiring visual surveillance.

(b) Height

The height of shrubs should not exceed three (3) feet at maturity. Shrubs that exceed a height of three (3) feet due to natural growth, such as oleanders, typically will not be approved. Desert plants with thin stalks over three (3) feet high that allow for visual surveillance may be used in these areas.

4. Barrier Plants

(a) Location

Barrier plants have thorns or needles and a dense structure. Barrier plants should be used below and to the sides of windows and adjacent perimeter walls, fences, and other building walls where desirable. Even where walls or windows occur closer than the six or twelve feet zones described in sections 2 and 3 above, barrier plants may still be approved.

(b) Height

Since the purpose of barrier plants is to discourage pedestrian through-traffic, some types of barrier plants may exceed three (3) feet and still be approved.

5. Trees

(a) Location

Trees of an appropriate number, size and species are encouraged throughout landscaped area, and are required by the Zoning Ordinance in certain instances. See Zoning Ordinance, Section 5, Part II. To provide shade for pedestrians, trees should be located adjacent to walks leading from street frontages and major parking areas to major building entrances and site areas.

(b) Height

As indicated in the subsection relating to groundcover plants, trees are to be pruned up to six (6) feet above ground. Conflicts with light standards should be avoided in order to maintain illumination levels as specified in section 11-20(a)(2) concerning exterior lighting.

6. Landscaping Rock

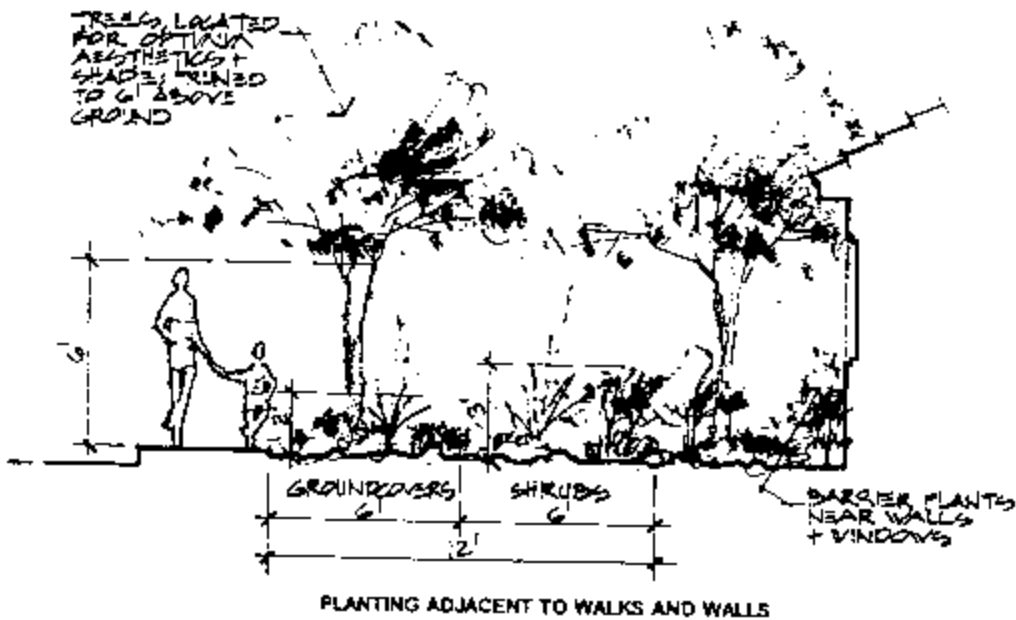
River rock (stone) and other masonry materials such as brick, rip-rap, etc. that are normally used for landscaping accents, borders or scuppers frequently lend themselves for use as weapons and/or tools for the commission of crimes. When river-rock (stone) and other masonry materials are used, the material should be grouted to prevent removal by hand. River rock should be grouted so that only one-third (1/3) of the rock is exposed above ground.

7. Recommended Plant Materials

The following lists are not meant to be all-inclusive. Rather the lists represent plants that require minimal maintenance to meet visual surveillance objectives. Other plant materials that are not listed, but still conform to these Guidelines, may still be approved.

Illustrations:

The following illustration demonstrates how plants, trees and shrubs may be used in areas adjacent to walkways.



Recommended Plant Materials

The following lists are not meant to be all-inclusive, but to represent plants that require minimal maintenance to meet visual surveillance objectives. Other plant materials that conform to these Guidelines may be approved.

SHRUBS

Ambrosia Deltoidea
 Triangleleaf Bur-sage
 Ambrosia Dumosa
 White Bur-sage
 Artemisia Caucasicasica
 Silver Spreader
 Artemisia Schmidtiana
 Silver Mound
 Artiplex Semiba Obata
 Saltbush

Dalea Greggii
 Indigo Bush
 Dalea Oaxacana
 Dalea Oaxacana
 Eriogonum Umbellatum
 Buckwheat
 Euphorbia Rigida
 Euphorbia
 Gutierrezia Microcephala
 Snakeweed

Juniperus Chinensis var.
 Juniper (except Procumbens)
 Krameria Parvifolia
 Krameria Parvifolia
 Lantana Montevicensis
 Spreading Sunshine
 Maytenus Phyllanthoides
 Mangle Dulce

BARRIER PLANTS

Acacia Constricta
 White Thorn Acacia
 Atriplex Lentiformis
 Quailbush, Big Saltbush
 Bougainvillea
 Bougainvillea
 Carissa
 Natal Plum

Acacia Greggii
 Catclaw Acacia
 Condalia Warnockii
 Mexican Crucillo
 Ferocactus
 Barrel Cactus
 Fouquieria Splendens
 Ocotillo

Agave
 Agave
 Pithecellobium
 Texas Ebony
 Pyracantha
 Firethorn
 Rosa
 Rose

Celtis Pallida
Desert Hackberry
Cercidium Floridum
Blue Palo Verde
Cercidium Microphyllum
Foothill Palo Verde
Chaenomeles
Flowering Quince
Chamaerops Humilis
Mediterranean Fan Palm

Ilex
Holly
Ilex Vomitoria
Stoke's Yaupon Holly
Lycium Species
Wolfberry, Lycium
Maytenus Phyllanthoides
Baja Dulce
Opuntia
Prickly Pear

Yucca Aloifolia
Spanish Bayonet
Yucca Baccata
Datil Yucca
Zizyphus Obtusifolia
Gray Thorn

ANNUAL WILDFLOWERS

Abronia Villosa
Sand-Verbena
Camissonia Brevis
Yellow Cups
Catharanthus Roseus
Madagascar Periwinkle
Clarkia Amoena
Farewell-to-Spring
Collinsia Heterophylla
Chinese-houses
Coreopsis Bigelovii
Desert Coreopsis
Dimorphotheca Spp.
African Daisy
Eriophyllum Lanosum
Woolly Daisy
Eriophyllum Wallacei
Woolly Daisy
Eschscholzia Calif.
California Poppy
Eschscholzia Mexicana
Mexican Gold Poppy
Euphorbia Heterophylla
Painted Spurge
Gaillardia Pulchella
Fire Wheel Blanket Fl.
Gilia Leptantha
Showy Blue Gilia
Gomphrene Globosa
Globe Amaranth
Helipterum Sp.
Helipterum

Ipomoea Leptotoma
Morning Glory
Kallstroemia Grandiflora
Arizona Poppy
Lasthenia Chrysostoma
(Baeria Chrysotoma)
Layia Platyglossa
Tidy Tips
Lesquerella Gordonii
Yellow Blanket
Linaria Spp.
Toadflax
Lupinus Arizonicus
Arizona Lupine
Lupinus Densiflorus
Lupine
Lupinus Sparsiflorus
Desert Lupine
Machaeranthera Canescens
(Aster Bigelovii) Big Aster
Machaeranthera Tanacetifolia
(Aster) Tahoka Daisy
Matricaria Grandiflora
Pineapple Weed
Mattiola Longibpetala cv. 'Bicornis'
Evening Scented Stock
Mimulus Begelovii
Begelow's Monkeyflower
Mohavea Confertiflora
Ghost Flower

Monarda Austromontana
Bee Balm
Monoptilon Bellioides
Belly Flower
Nama Demissum
Purple Mat
Nama Hispidum
Purple Mat
Nemphila Maculata
Five Spot
Nemophila Menziesii
Baby Blue Eyes
Oenothera Deltoides
Birdcage Evening Primrose
Oenothera Primiveris
Evening Primrose
Orthocarpus Purpurascens
Owl's Clover
Pectis Papposa
Chinch Weed
Perityle Emoryi
Rock Daisy
Platystemon Californicus
Cream Cups
Proboscidea Parviflora
Devil's Claw
Rafinesquia Neomexicana
Desert-chicory
Salvia Columbariae
Chia

GROUND COVER PLANTS

Carpobrotus Edulis
Ice Plant
Cephalophyllum Spp.
Ice Plant
Clanthus Formosus
Sturt's Desert Pea
Convolvulus Mauritanicus
Ground Morning Glory
Gazania Spp.
Gazania
Lantana Montevicensis
Trailing Lantana

Malephora Crocea
Ice Plant
Myoporum Parvifolium
Myoporum
Oenothera Berlandieri
Mexican Evening Primrose
Oenothera Stubbei
Saltillo Primrose
Rosmarinus Officinallis
Prostrate Rosemary
Santolina Chamaecyparissus
Lavendar Cotton

Santolina Virens
Green Santolina
Verbena Bipinnatifida
Verbena
Verbena Peruviana
Peruvian Verbena
Verbena Rigida
Sandpaper Verbena
Verbena Tenera
Moss Verbena
Wedelia Trilobata
Wedelia

PERENNIAL WILDFLOWERS

Allionia Incarnata
Trailing Windmills
Bahia Absinthifolia
Bahia
Bailey Multiradiata
Desert Marigold
Castilleja Chromosa
Indian Paintbrush

Dichelostemma Pulchellum
Bluedicks
Dyssodia Acerosa
Dyssodia
Dyssodia Pentachaeta
Dyssodia
Erigeron Divergens
Spreading Fleabane

Evolvulus Arizonicus
Arizona Blue Eyes
Ipomopsis Longiflora
Pale Blue Trumpets
Justicia Sonorae
Sonoran Justicia
Linum Lewisii
Blue Flax

1. Purpose

Walls for security and access gates are intended to minimize unauthorized access and reduce the risk of crime. In many locations, such as between residential and certain other uses, or at the rear of "reverse frontage" residential lots, walls may also provide additional privacy and buffering from unwanted noise. Walls and access gates are to be designed and built in such a way as to provide the necessary security, compliment their surroundings, and maintain their function and appearance over time. A consistent standard of design, materials and height of walls in an area or along a particular street frontage should be maintained.

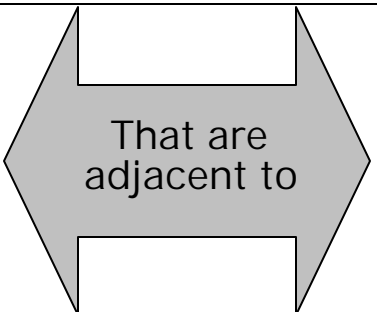
2. Location and Height of Walls

(a) Residential Areas

The Zoning Ordinance sets forth the maximum height of walls and fences in residential areas. In residential areas, freestanding walls or fences in the required front yard set back areas may not be more than four (4) feet high. Walls in the side or rear yard areas may not be more than eight (8) feet high. However, if the wall is over six (6) feet high and would be visible from a public street, school, park or other common area, approval from the Development Services Director is required prior to building the wall.

(b) Common Property Lines

In certain locations where property lines are in common with different uses, the Zoning Ordinance requires that walls be used, and that the walls be at least six (6) feet high. See Zoning Ordinance Section 5, Part III. In other locations, a wall is not required by the Zoning Ordinance, but may be desired by the owner or developer. To comply with CPTED, if a wall is either required by the Zoning Ordinance, or desired by the owner or developer, then in the following circumstances a wall at least eight (8) feet high may be required:

Alleys		Residential
Bike Paths		Commercial Storage
Canals		Mini-Storage
Parks and open spaces		Preschools, nursery and similar playgrounds
Retention Basin Areas		Industrial uses

Note: A wall for security or screening may not be required by the Zoning Ordinance in these areas, but if a wall is used, it should be at least eight (8) feet high.

(c) Required Walls For Security

To comply with Section 11-20(a)(4) of CPTED, walls at least eight (8) feet high will be required to provide access control for the following areas:

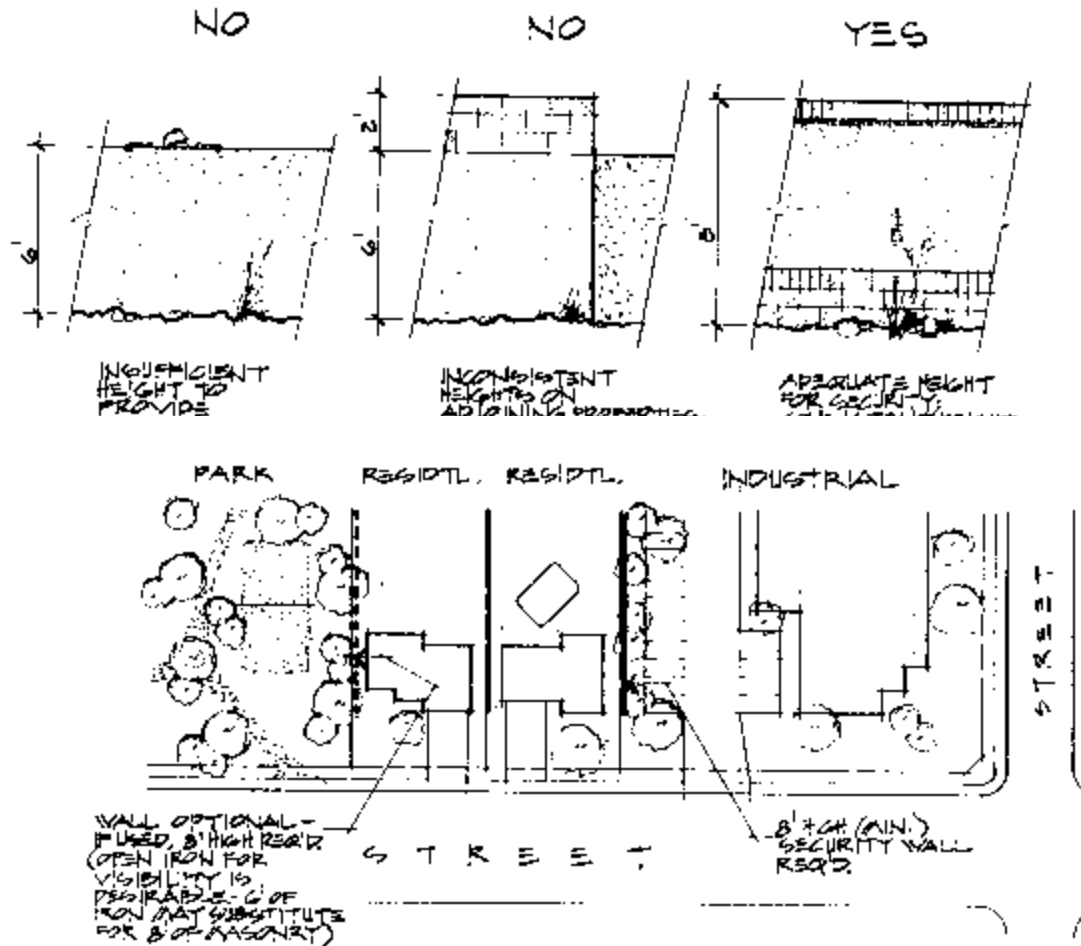
1. Commercial and industrial areas (storage areas)
2. Mini-storages
3. Preschools, nursery and other similar playgrounds
4. Along rear property lines of residential "reverse frontage" lots which border public streets.

Illustrations:

3. Construction of Walls For Security

Walls for security must be of substantial construction to resist vandalism and excessive deterioration, with materials and finishes as described in the Zoning Ordinance. Where such walls are not required for visual screening or noise control, the walls may have decorative wrought iron fence panels with vertical pickets that present an opening of four (4) inches or less and are designed as an integral part of the wall. In some locations, such as between residential property lines and bike paths, golf courses, parks and walkways, the use of decorative wrought iron is encouraged to increase visual surveillance and maintain aesthetics. Six (6) feet of wrought iron with pickets may be substituted for masonry.

Note: The construction of any wall over six (6) feet in height requires a building permit from the Building Safety Division of the Development Services Department.



WALLS SEPARATING CERTAIN USES

4. Access Control Gates

The Zoning Ordinance, and Article I of Chapter 11 of the Tempe City Code relating to Design Review, already provide for certain requirements and procedures for gates that are used for vehicular and pedestrian access control to a commercial, industrial or residential site. In addition, all gates require Fire Department plan check

and approval prior to installation. Inspection is required upon completion of installation. This Guideline does not in any way supersede the Zoning Ordinance, Design Review, Fire Department or any other requirement for access control gates.

However, in addition to these requirements, location of gates must also be approved by the CPTED section for properties requiring CPTED approval. Submitted plans must indicate where the gate(s) will be located. Details on the type of gate and access control through the gate must also be submitted. To comply with CPTED the gates must provide Police Department access at all control points.

GUIDELINES FOR SECTION 11-20(a)(5) ADDRESSES

1. Purpose

Address specifications are meant to ensure identification and location of buildings. Proper posting of buildings minimizes confusion as to location and expedites public safety responses. Nothing herein is intended to override the provisions in Section 7 of the Zoning Ordinance relating to sign regulations.

2. Color, Style, and Height Specifications

(a) Color of numbers and letters shall be of a contrasting color to the background to which they are attached and must be visible at all times.

(b) Style of numbers and letters must be readily discernible.

(c) To be readily discernible, the height of address building numbers and letters should conform to the following:

1. Single family homes should use a minimum of six (6) inch numbers and letters.
2. Residential curbside mailboxes should use a minimum of four (4) inch numbers and letters.
3. All other single story properties should use a minimum of twelve (12) inch numbers and letters.
4. Multiple story units should use a minimum of sixteen (16) inch numbers and letters.
5. All suite numbers should be a minimum of six (6) inches, unless such numbers and letters are illuminated in which case a minimum of four (4) inch numbers and letters may be used.
6. All commercial and industrial utility meters should use a minimum of one (1) inch numbers or letters to display the address or suite numbers.
7. Address numbers or letters on freestanding signs should be a minimum of eight (8) inches in height.

(d) To be readily discernible, the height of multifamily unit numbers should conform to the following:

1. Four (4) inch if illuminated.
2. Six (6) inch if non-illuminated.
3. Three (3) inch at door if door is recessed and unit number is displayed at the entryway to the recessed area.

(e) All numbers and letters should be illuminated from dusk to dawn by either back, direct or reverse pan-channel lighting. The following are excepted from the illumination requirement:

1. Single family and two family dwellings rear address.
2. Single family and two family dwellings alley gates.

3. Single family and two family dwellings curbside mail boxes.

4. Commercial or industrial rear door suite numbers.

3. Location

(a) The identification signs for commercial and multifamily developments and the site address should be mounted in a permanent stationary and durable manner and should remain unobstructed at all times by trees, shrubs or vines, or anything that would tend to hide or obscure the number or letter and shall be visible at all times from public access to the property. Placement should not conflict with mature trees or plants.

(b) No other number should be affixed to a structure which might be mistaken for, or confused with, the number assigned to that structure.

(c) The assigned address, including the suite number, should be displayed on all electric meters in accordance with the Tempe Electrical Code and the utility company standards.

(d) The address for single family and two family dwellings should be placed as follows:

1. The number for each house should be placed on both the front and, unless there is an alley, the rear of the building structure such that it is visible from the street and adjacent lot.

2. If the dwelling is adjacent to an alley, the number should be placed on or adjacent to the rear gate accessing the alley.

3. If the house is not viewable from the street frontage, a permanent monument with the site address should be placed in a conspicuous place, or the site address may be placed on a curbside postal mailbox. The house number should be placed on both the permanent monument or the mailbox and the building structure.

(e) The building and unit number for multifamily should be placed as follows:

1. Each principal building should display the number or letter assigned on each corner of each free-standing side. If a side of the structure is less than sixty (60) feet in length, then only one number or letter is required to be displayed on that side. Additional display of numbers and letters should be placed at the midpoint of the structures, for structures over two hundred (200) feet in length.

2. An illuminated unit number should be placed adjacent to the entry door to each unit. For buildings with recessed entryways, the illuminated unit number should be placed in the entryway to the recessed area and an additional unit number may be required adjacent to the entry door to each unit. If the recessed area provides access to more than one dwelling unit, each unit's number should be displayed.

(f) The address for commercial and industrial sites should be placed as follows:

1. Each principal building should display the number or letter assigned on each corner of each free-standing side. If the side of the structure is less than sixty (60) feet in length, then only one number or letter needs to be displayed on that side. Additional display of numbers or letters should be at the midpoint of the structure for structures over two hundred (200) feet in length.

2. The numbers or letters assigned to each individual suite in a commercial or industrial development should be displayed at both the front and rear entrances.

GUIDELINES FOR SECTION 11-20(a)(6) DIRECTORIES

1. Purpose

Directories are necessary on properties occupied by more than one structure so that police and other emergency personnel may be able to properly and quickly locate a particular site. The directory should be used as a topographical display of the occupancy. It should depict structures, units, apartments or space numbers, tennis courts, swimming pools, elevators, driveways and streets.

2. Specifications

- (a) The directory should be in contrasting colors (black on white, dark brown on beige, etc.) with pools and water areas in blue and tennis courts in green.
- (b) The directory should be properly oriented with respect to the viewer and a red dot with a red arrow one-half (1/2) inch in diameter, with the words "YOU ARE HERE" affixed in the logical place on the directory.
- (c) The directory should be located on the site so as to be easily and quickly identified and free from visual obstruction. Depending upon the layout and size of the site, multiple directories may be necessary.
- (d) CPTED requires that the directory be internally illuminated. The directory should be internally lit with a projected white light source, and illuminated from dusk until dawn. The directory should have vandal-resistant glazing to minimize criminal damage and the structure should be weather resistant.
- (f) Signs should be installed in a manner that does not conflict with traffic visibility zones as provided for by traffic engineering and the planning department. Traffic movement and safety should not be compromised as a result of directory placement.

GUIDELINES FOR SECTION 11-20(a)(7) VISION PANELS

1. Purpose

The purpose of vision panels is to insure that an opportunity is provided to observe a security risk outside of a service exit door prior to using the exit.

2. Specifications

- (a) The glazing material used in the security vision panel should comply with all current and applicable fire-rated door standards.
- (b) The vision panel should be a minimum of thirty-six (36) square inches to a maximum of one hundred (100) square inches. The minimum width of the glazing area should not be less than six (6) inches.
- (c) The security vision panel should be center mounted on the service door. The center of the glazing material used should be mounted at no more than sixty-three (63) inches from the bottom edge of the door.
- (d) Burglar resistant glazing should be used.

GUIDELINES FOR SECTION 11-20(8) PARKING STRUCTURES

1. Purpose

Parking structures should have sufficient security measures to minimize the risk of crime and the opportunity for crime.

2. Specifications

Parking structures will be reviewed for security measures to insure that the purpose is met. These security measures may include lighting, emergency telephones, closed circuit television, on-site security, placement of stairwells and elevators and similar factors.

MISCELLANEOUS GUIDELINES

1. Uniform Building Security Code

All buildings must comply with the most current Uniform Building Security Code and Uniform Building Code.

2. Americans With Disabilities Act

Nothing herein is intended to supersede any requirements under the Americans With Disabilities Act. Note that all walkways and gates must conform to the standards of the Americans with Disabilities Act.

3. Other Tempe City Code Requirements

Nothing herein is intended to supersede any other requirements in the Tempe City Code. Applicants are specifically advised to verify all additional requirements that they must comply with in order to obtain approval of their plans. These additional requirements include, but are not limited to, the Zoning Ordinance requirements affecting parking lot layout, fence and wall locations, and construction materials for walls, as well as lighting; Article VIII, Chapter 25 relating to outdoor lighting; and Article 1, Chapter 11 relating to Design Review requirements.

4. Questions

If you have any questions, please contact a representative from the appropriate department:

Crime Prevention - 350-8562

Design Review - 350-8331

Transportation - 350-8204

Fire Prevention - 350-8850

Refuse - 350-8265

Building Safety - 350-8341